

PROJECT NUMBER  
1604-29  
SHEET NUMBER  
CS-1

# THE MEADOWS

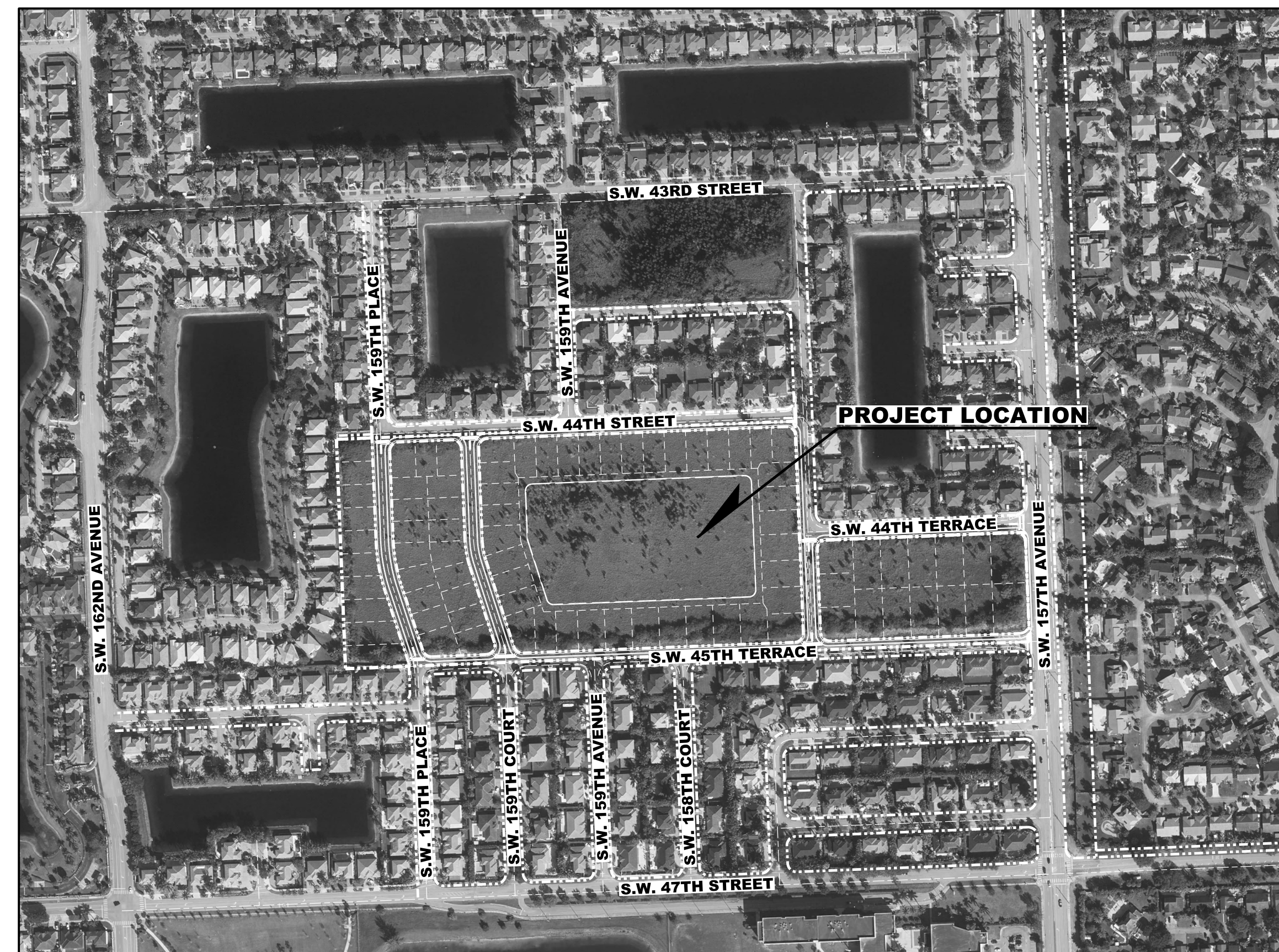
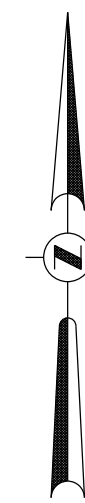
## MIAMI-DADE COUNTY, FLORIDA

### LENNAR HOMES

#### (T-x)

#### INDEX OF PLANS

SHEET NO.	SHEET DESCRIPTION
CS-1	COVER SHEET
PD-1	PAVING AND DRAINAGE PLAN
PD-2	PAVING AND DRAINAGE PLAN
PD-3	PAVING AND DRAINAGE PLAN
PD-4	PAVING AND DRAINAGE PLAN
PD-5	PAVING AND DRAINAGE DETAILS
PD-6	PAVING AND DRAINAGE DETAILS
PD-7	PAVING AND DRAINAGE DETAILS
PD-8	PAVING AND DRAINAGE DETAILS



#### LOCATION MAP

SCALE: 1" = 300'  
SECTION 20 / TOWNSHIP 54 S / RANGE 39 E

#### GENERAL NOTES:

- THIS PROPERTY IS LOCATED WITHIN FEMA FLOOD ZONE AH WHICH HAS A BASE FLOOD ELEVATION OF +9.00 NGVD.
- THE MIAMI-DADE COUNTY FLOOD CRITERIA ELEVATION FOR THIS PROPERTY IS +8.60 NGVD.
- THE AVERAGE MAY GROUND WATER LEVEL IS +4.00 NGVD PER MAP W.C. 2.4
- THE AVERAGE OCTOBER GROUND WATER LEVEL IS +5.50 NGVD PER MAP W.C. 2.2
- THE MINIMUM GARAGE ELEVATION ON THIS PROJECT NEEDS TO BE SET AT +10.00 NGVD.
- ELEVATIONS ARE BASED ON: NATIONAL GEODETIC VERTICAL DATUM OF 1929.  
MIAMI-DADE BENCH MARK USED: P-4065  
ELEVATION: 9.83' (N.G.V.D. 1929)  
BENCH MARK LOCATION: S.W. 47TH STREET - 45' SOUTH OF CL  
S.W. 157TH AVENUE - ON CL.  
BENCH MARK IS A PK NAIL AND BRASS WASHER IN CONCRETE MEDIAN.  
FLOOD ZONE: "AH"  
BASED FLOOD ELEVATION: 9.00' AS PER  
COMMUNITY NUMBER: 120635  
FEMA MAP NUMBER: 12086C0427L  
EFFECTIVE DATE: SEPTEMBER 11, 2009  
REVISED DATE: SEPTEMBER 11, 2009

#### LEGAL DESCRIPTION:

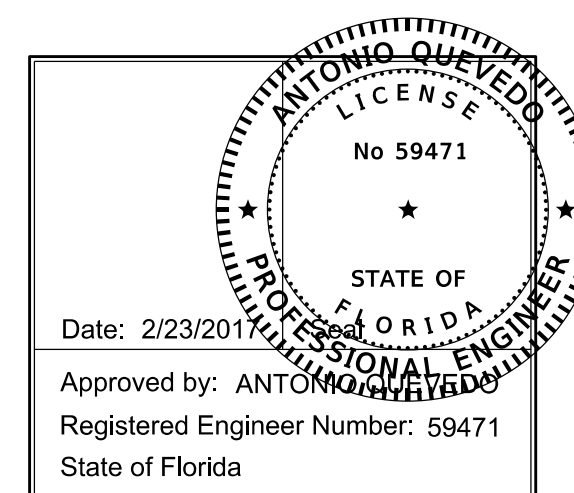
PARCEL ONE:  
THE SOUTH 1/2 OF TRACT 17, OF MIAMI EVERGLADES LAND COMPANY SUBDIVISION SECTION 20, ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 3 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL TWO:  
TRACT 19, AND THE NORTH 1/2 TRACT 18, OF MIAMI EVERGLADES LAND COMPANY SUBDIVISION IN SECTION 20, TOWNSHIP 54 SOUTH, RANGE 39 EAST, ACCORDING TO PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 3 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL THREE:  
SOUTH 1/2 OF TRACT 18, SECTION 20, TOWNSHIP 54 SOUTH, RANGE 39 EAST, OF MIAMI EVERGLADES LAND COMPANY SUBDIVISION, IN PLAT BOOK 2, PAGE 3 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE: ALL PARCELS ARE CONTIGUOUS WITH NO GAPS OR GORES.

# PAVING AND DRAINAGE PLANS



**HSQ GROUP, INC.**  
Engineers · Planners · Surveyors

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Miami, Florida 33015 · 786.534.3621  
C26258 · LB7924



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Check positive response codes before you dig!

#### ENGINEER'S CERTIFICATION

THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

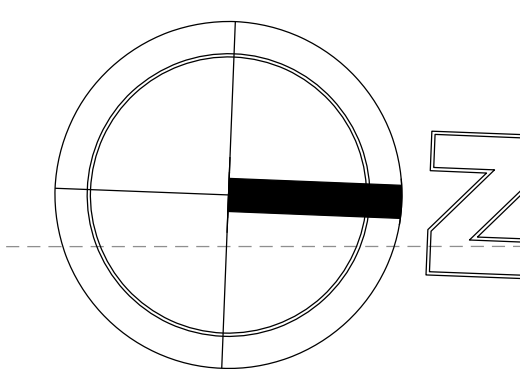
PARK LAKES SECTION ONE  
(P.B. 155, PG. 89)

LEGEND

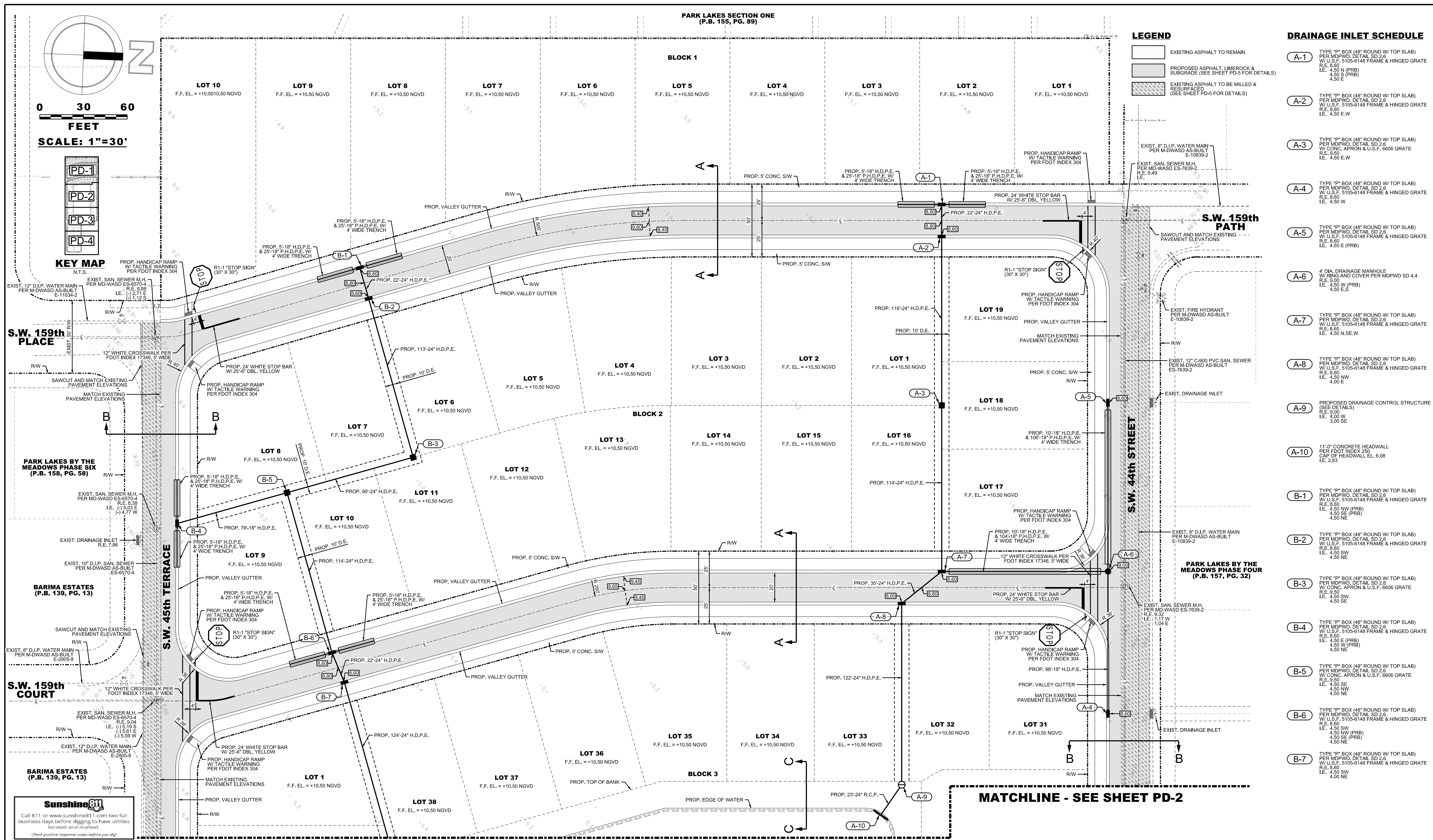
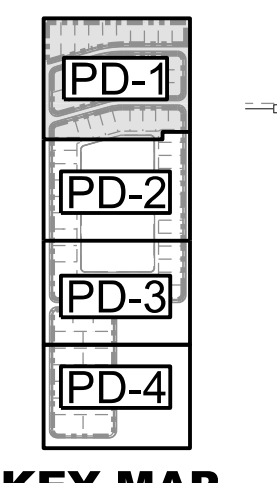
- EXISTING ASPHALT TO REMAIN
- PROPOSED ASPHALT, LIMEROCK & SUBGRADE (SEE SHEET PD-5 FOR DETAILS)
- EXISTING ASPHALT TO BE MILLED & RESURFACED (SEE SHEET PD-5 FOR DETAILS)

DRAINAGE INLET SCHEDULE

- (A-1)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.9 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 N (PRB) 4.50 S (PRB) 4.50 E
- (A-2)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 E/W
- (A-3)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ CONC. APRON & U.S.F. 6606 GRATE R.E. 8.60 I.E. 4.50 E/W
- (A-4)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 W
- (A-5)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE I.E. 4.50 E (PRB)
- (A-6)** 4" DIA. DRAINAGE MANHOLE W/ RING AND COVER PER MDPWD SD 4.4 R.E. 9.00 I.E. 4.50 W (PRB) 4.50 E/S
- (A-7)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE I.E. 4.50 N,SE,W
- (A-8)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE I.E. 4.50 NW 4.00 E
- (A-9)** PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS) R.E. 9.00 I.E. 4.00 W 3.00 SE
- (A-10)** 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250 CAP OF HEADWALL EL. 6.08 I.E. 2.83
- (B-1)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 NW (PRB) 4.50 NE
- (B-2)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.9 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 SW 4.50 NE
- (B-3)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ CONC. APRON & U.S.F. 6606 GRATE R.E. 9.50 I.E. 4.50 SW 4.50 SE
- (B-4)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 E (PRB) 4.50 W (PRB) 4.50 NE
- (B-5)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.9 W/ CONC. APRON & U.S.F. 6606 GRATE R.E. 9.50 I.E. 4.50 SE 4.50 NW
- (B-6)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 SW 4.50 SE (PRB) 4.50 NW (PRB) 4.50 SE (PRB)
- (B-7)** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. 5105-6148 FRAME & HINGED GRATE R.E. 8.60 I.E. 4.50 SW 4.00 NE



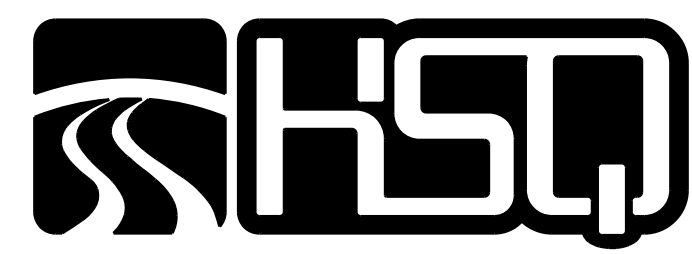
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SCALE: 1"=30'



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NO.	DATE	BY	REVISION

Designed by: AQ Date: 2/17  
 Drawn by: RW Date: 2/17  
 Checked by: AQ Date: 2/17  
 Approved by: ANTONIO QUEVEDO Date: 2/23/2017  
 Registered Engineer Number 59471  
 State of Florida

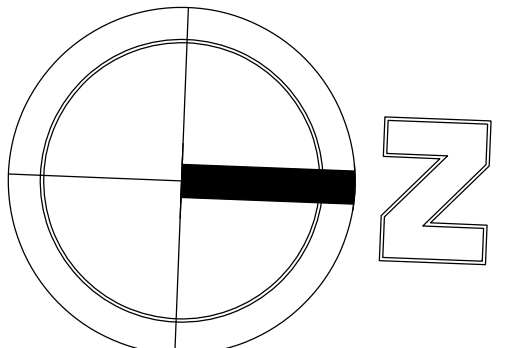


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**THE MEADOWS**  
 PAVING AND DRAINAGE PLAN

PROJECT NUMBER  
1702-07  
 SHEET NUMBER  
PD-1

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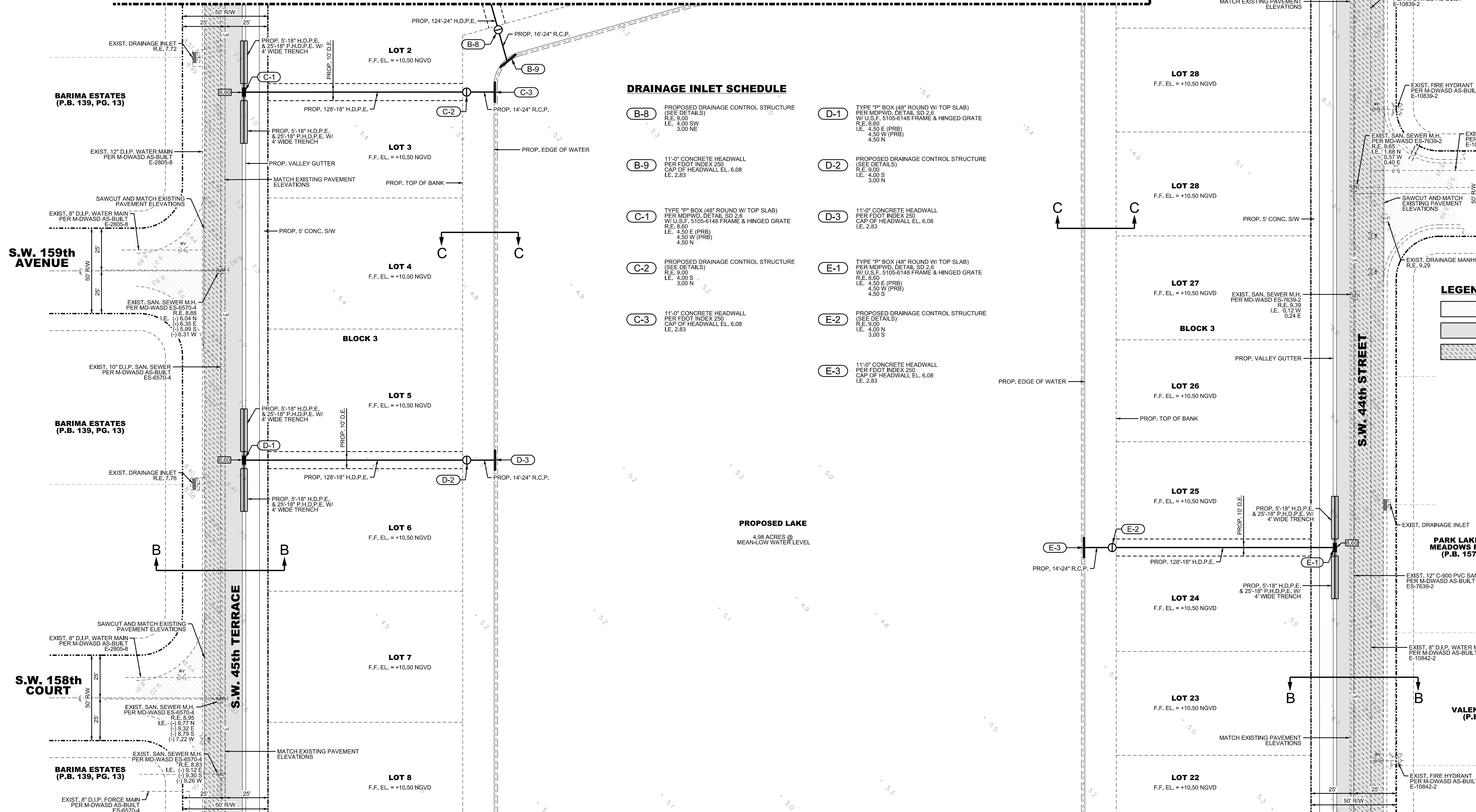
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MATCHLINE - SEE SHEET PD-1

**DRAINAGE INLET SCHEDULE**

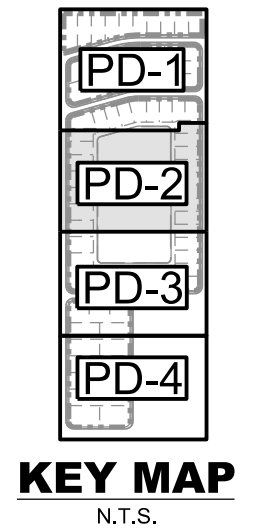
- B-8** PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS)  
R.E. 9.00  
I.E. 4.50 SW  
3.00 NE
- B-9** 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250  
CAP OF HEADWALL EL. 6.08  
I.E. 2.83
- C-1** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 E (PRB)  
4.50 W (PRB)  
4.50 N
- C-2** PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS)  
R.E. 9.00  
I.E. 4.00 S  
3.00 N
- C-3** 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250  
CAP OF HEADWALL EL. 6.08  
I.E. 2.83
- D-1** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 E (PRB)  
4.50 W (PRB)  
4.50 N
- D-2** PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS)  
R.E. 9.00  
I.E. 4.00 S  
3.00 N
- D-3** 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250  
CAP OF HEADWALL EL. 6.08  
I.E. 2.83
- E-1** TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 E (PRB)  
4.50 W (PRB)  
4.50 S
- E-2** PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS)  
R.E. 9.00  
I.E. 4.00 N  
3.00 S
- E-3** 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250  
CAP OF HEADWALL EL. 6.08  
I.E. 2.83

**PROPOSED LAKE**  
4.98 ACRES @  
MEAN-LOW WATER LEVEL



**LEGEND**

- EXISTING ASPHALT TO REMAIN
- PROPOSED ASPHALT, LIMEROCK & SUBGRADE (SEE SHEET PD-5 FOR DETAILS)
- EXISTING ASPHALT TO BE MILLED & RESURFACED (SEE SHEET PD-5 FOR DETAILS)



**PARK LAKES BY THE MEADOWS PHASE FIVE (P.B. 157, PG. 23)**

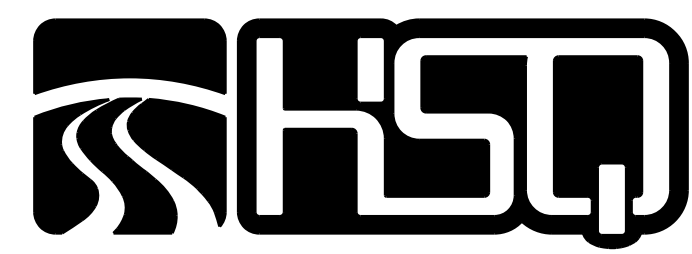
**VALENTI SUBDIVISION (P.B. 158, PG. 83)**

MATCHLINE - SEE SHEET PD-5

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Designed by: AQ	Date: 2/17	Approved by: ANTONIO QUEVEDO	Date: 2/23/2017
Drawn by: RW	Date: 2/17		
Checked by: AQ	Date: 2/17	Registered Engineer Number: 59471	State of Florida



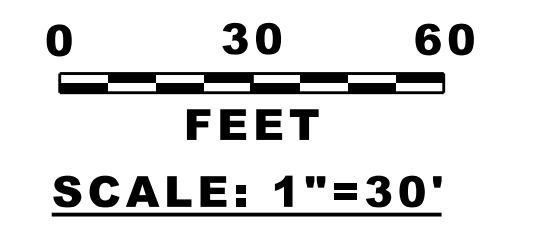
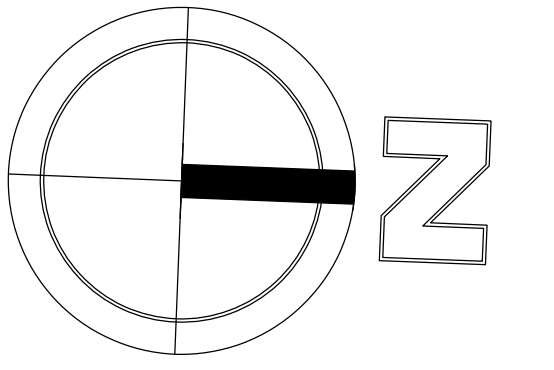
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**THE MEADOWS**  
PAVING AND DRAINAGE PLAN

PROJECT NUMBER	1702-07
SHEET NUMBER	PD-2

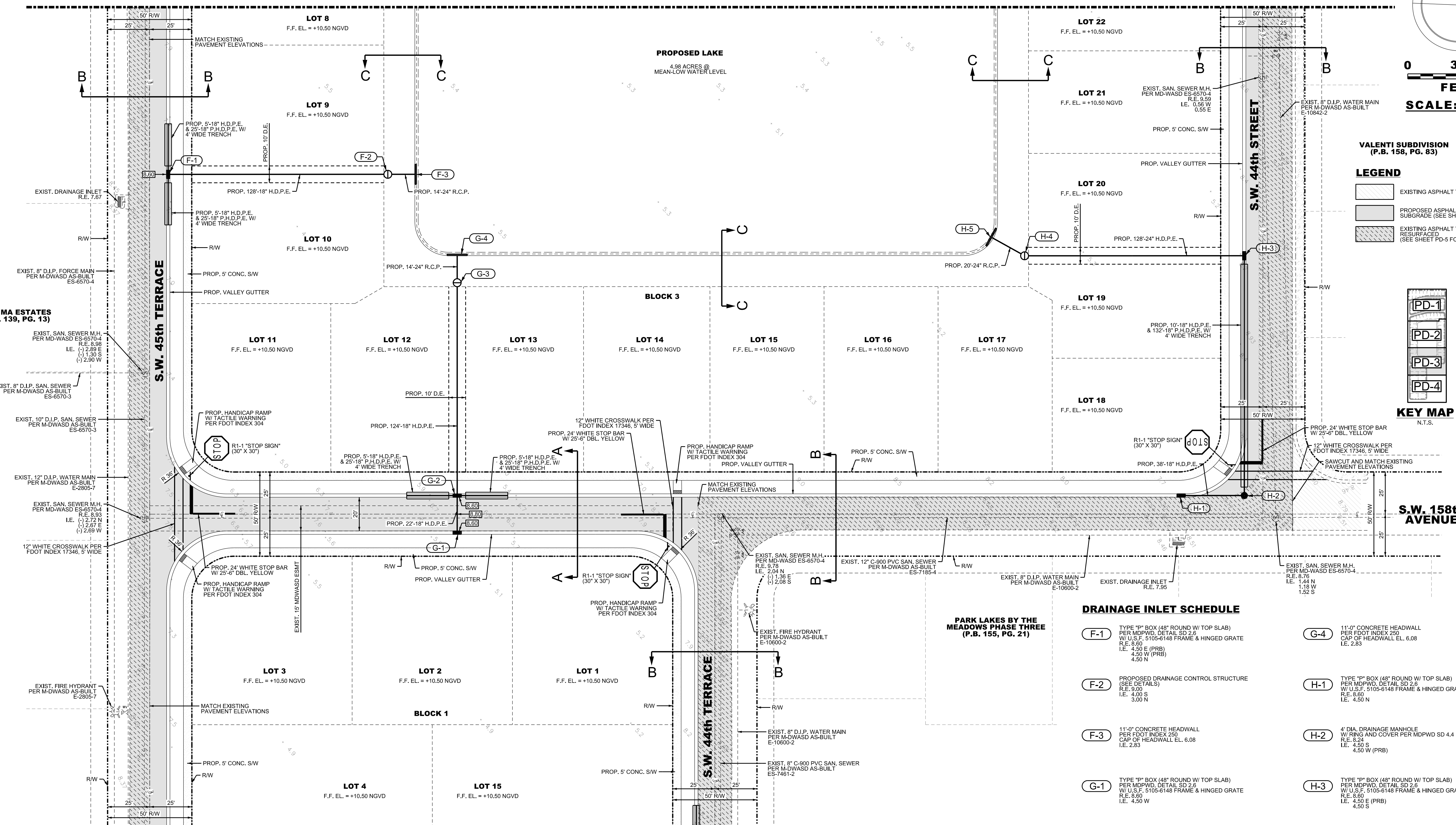
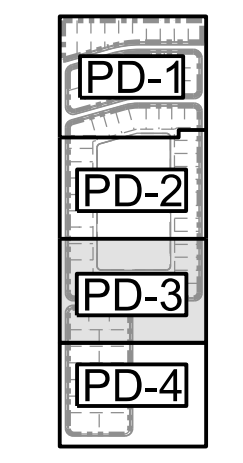
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MATCHLINE - SEE SHEET PD-2



VALENTI SUBDIVISION  
(P.B. 158, PG. 83)

- LEGEND**
- EXISTING ASPHALT TO REMAIN
  - PROPOSED ASPHALT, LIMEROCK & SUBGRADE (SEE SHEET PD-5 FOR DETAILS)
  - EXISTING ASPHALT TO BE MILLED & RESURFACED (SEE SHEET PD-5 FOR DETAILS)



**DRAINAGE INLET SCHEDULE**

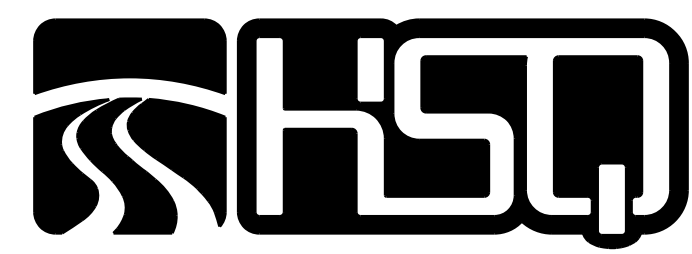
- |  |   |
|--|---|
| <p><b>F-1</b> TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. #105-6148 FRAME &amp; HINGED GRATE<br/>R.E. 8.60<br/>I.E. 4.50 E (PRB)<br/>4.50 W (PRB)<br/>4.50 N</p> <p><b>F-2</b> PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS)<br/>R.E. 9.00<br/>I.E. 4.00 S<br/>3.00 N</p> <p><b>F-3</b> 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250 CAP OF HEADWALL EL. 6.08<br/>I.E. 2.83</p> | <p><b>G-4</b> 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250 CAP OF HEADWALL EL. 6.08<br/>I.E. 2.83</p> <p><b>H-1</b> TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. #105-6148 FRAME &amp; HINGED GRATE<br/>R.E. 8.60<br/>I.E. 4.50 N</p> <p><b>H-2</b> 4' DIA. DRAINAGE MANHOLE W/ RINGS AND COVER PER MDPWD SD 4.4<br/>R.E. 8.24<br/>I.E. 4.50 S<br/>4.50 W (PRB)</p> <p><b>H-3</b> TYPE "P" BOX (48" ROUND W/ TOP SLAB) PER MDPWD, DETAIL SD 2.6 W/ U.S.F. #105-6148 FRAME &amp; HINGED GRATE<br/>R.E. 8.60<br/>I.E. 4.50 E (PRB)<br/>4.50 S</p> <p><b>H-4</b> PROPOSED DRAINAGE CONTROL STRUCTURE (SEE DETAILS)<br/>R.E. 9.00<br/>I.E. 4.00 N<br/>3.00 S</p> <p><b>H-5</b> 11'-0" CONCRETE HEADWALL PER FDOT INDEX 250 CAP OF HEADWALL EL. 6.08<br/>I.E. 2.83</p> |
|--|---|

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Designed by: AQ Date: 2/17  
 Drawn by: RW Date: 2/17  
 Checked by: AQ Date: 2/17

Approved by: ANTONIO QUEVEDO Date: 2/23/2017  
 Registered Engineer Number 59471  
 State of Florida



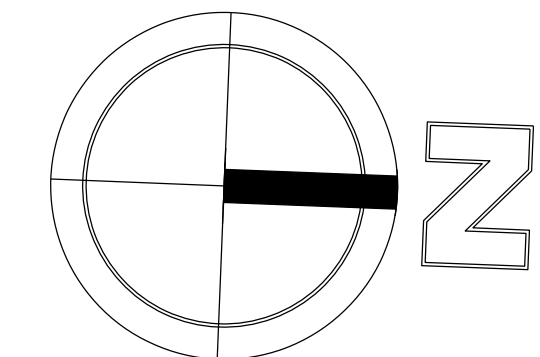
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**THE MEADOWS**  
 PAVING AND DRAINAGE PLAN

PROJECT NUMBER  
1702-07

SHEET NUMBER  
PD-3

MATCHLINE - SEE SHEET PD-3



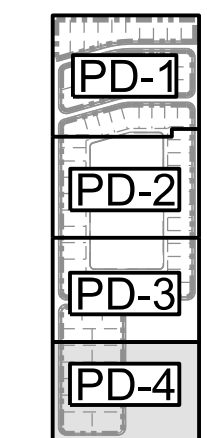
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LEGEND

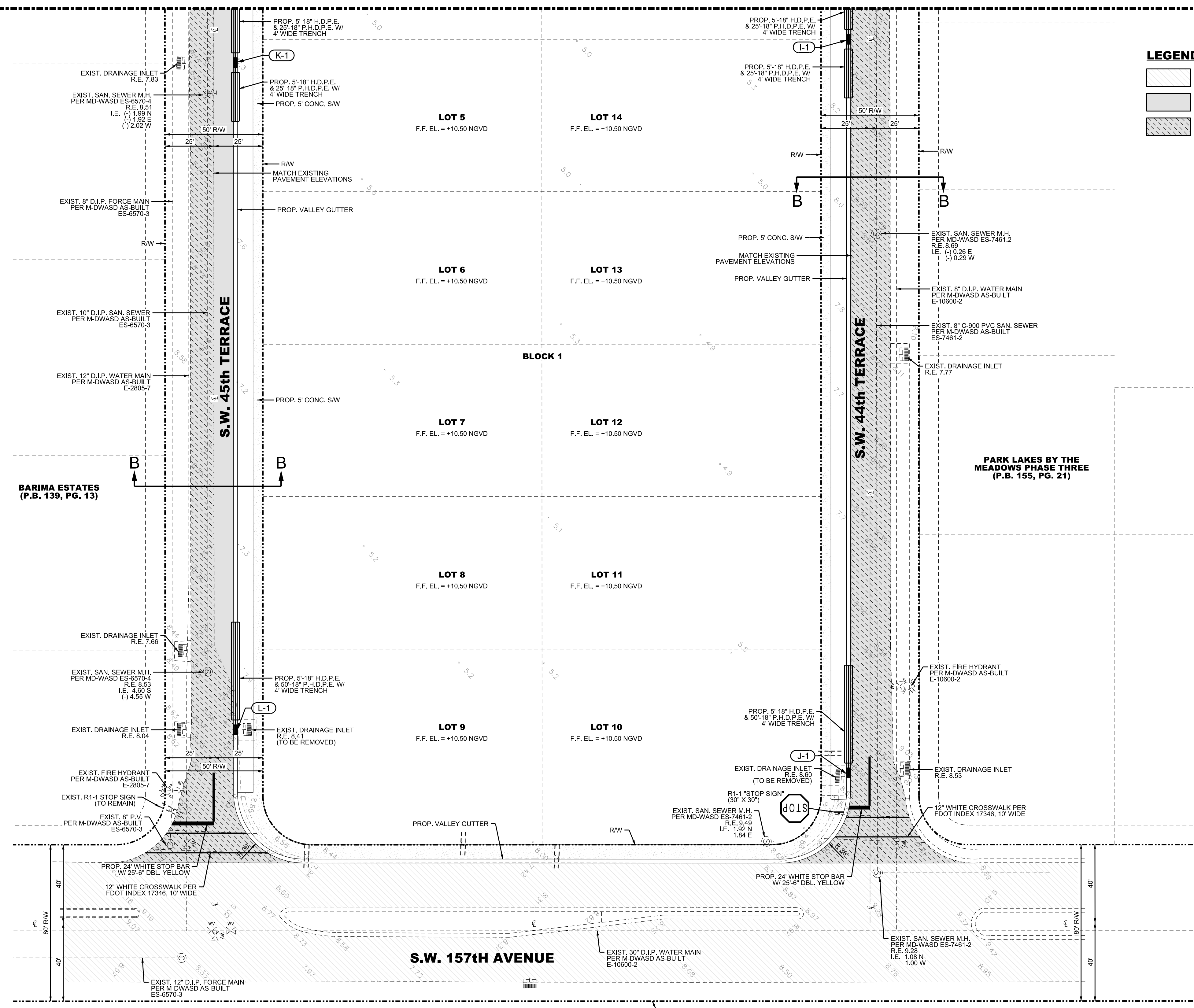
- EXISTING ASPHALT TO REMAIN
- PROPOSED ASPHALT, LIMEROCK & SUBGRADE (SEE SHEET PD-5 FOR DETAILS)
- EXISTING ASPHALT TO BE MILLED & RESURFACED (SEE SHEET PD-5 FOR DETAILS)

DRAINAGE INLET SCHEDULE

- TYPE "P" BOX (48" ROUND W/ TOP SLAB)  
PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 E (PRB)  
4.50 W (PRB)
- TYPE "P" BOX (48" ROUND W/ TOP SLAB)  
PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 W (PRB)
- TYPE "P" BOX (48" ROUND W/ TOP SLAB)  
PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 E (PRB)  
4.50 W (PRB)
- TYPE "P" BOX (48" ROUND W/ TOP SLAB)  
PER MDPWD, DETAIL SD 2.6  
W/ U.S.F. 5105-6148 FRAME & HINGED GRATE  
R.E. 8.60  
I.E. 4.50 W (PRB)



KEY MAP  
N.T.S.



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NO.	DATE	BY	REVISION

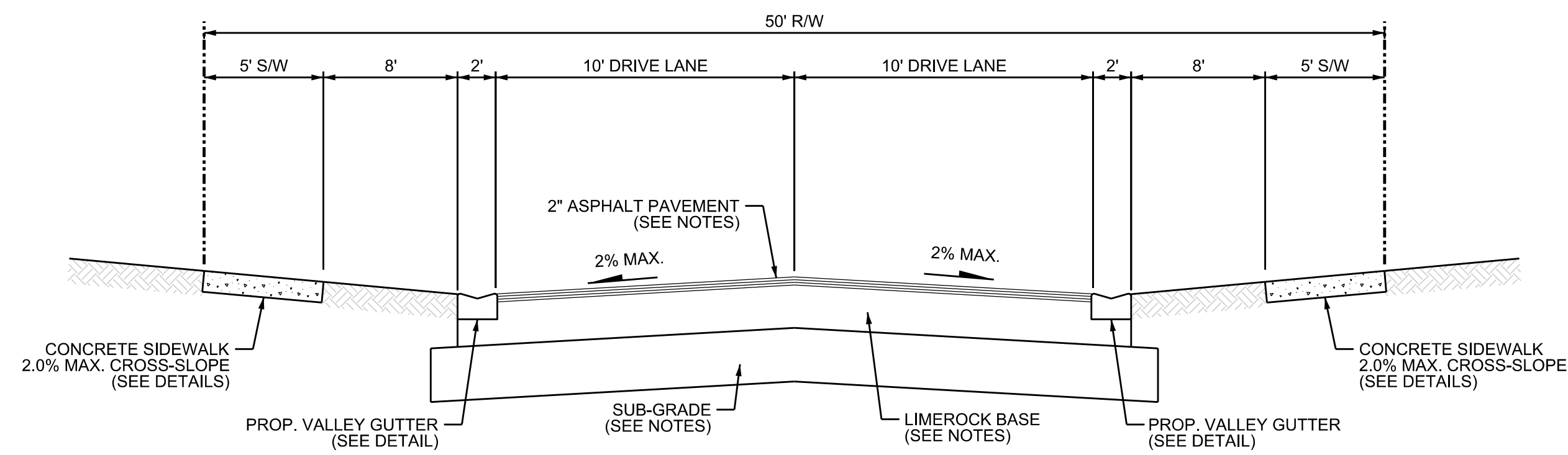
Designed by: AQ	Date: 2/17	Approved by: ANTONIO QUEVEDO	Date: 2/23/2017
Drawn by: RW	Date: 2/17		
Checked by: AQ	Date: 2/17	Registered Engineer Number: 59471	State of Florida



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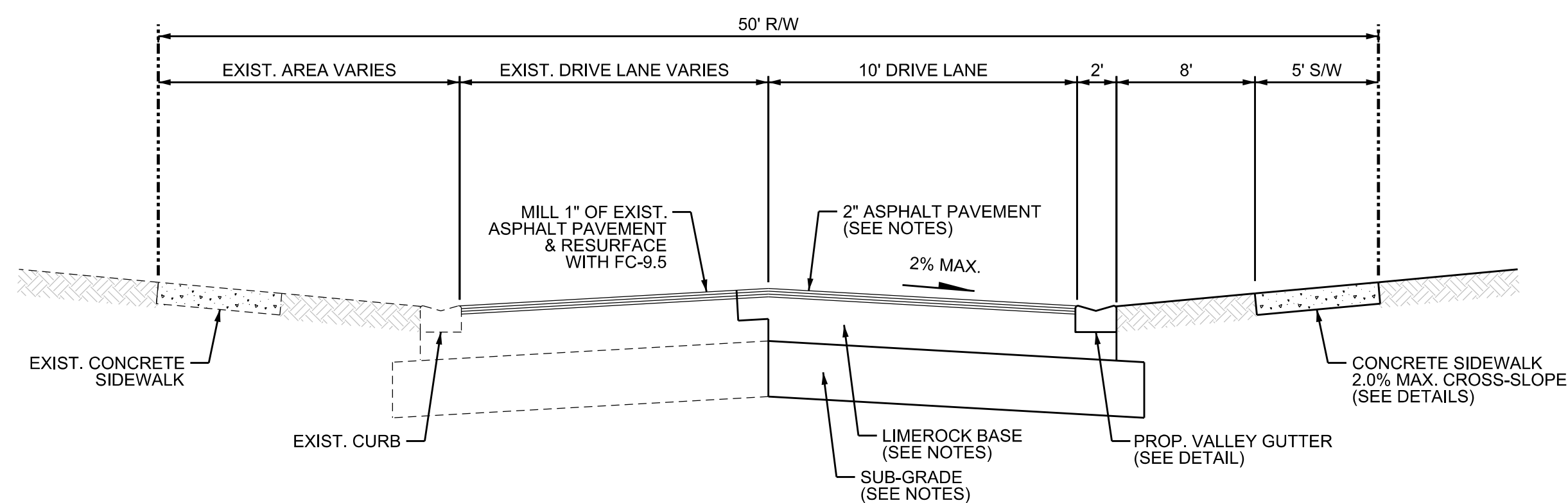
**THE MEADOWS**  
PAVING AND DRAINAGE PLAN

PROJECT NUMBER	1702-07
SHEET NUMBER	PD-4



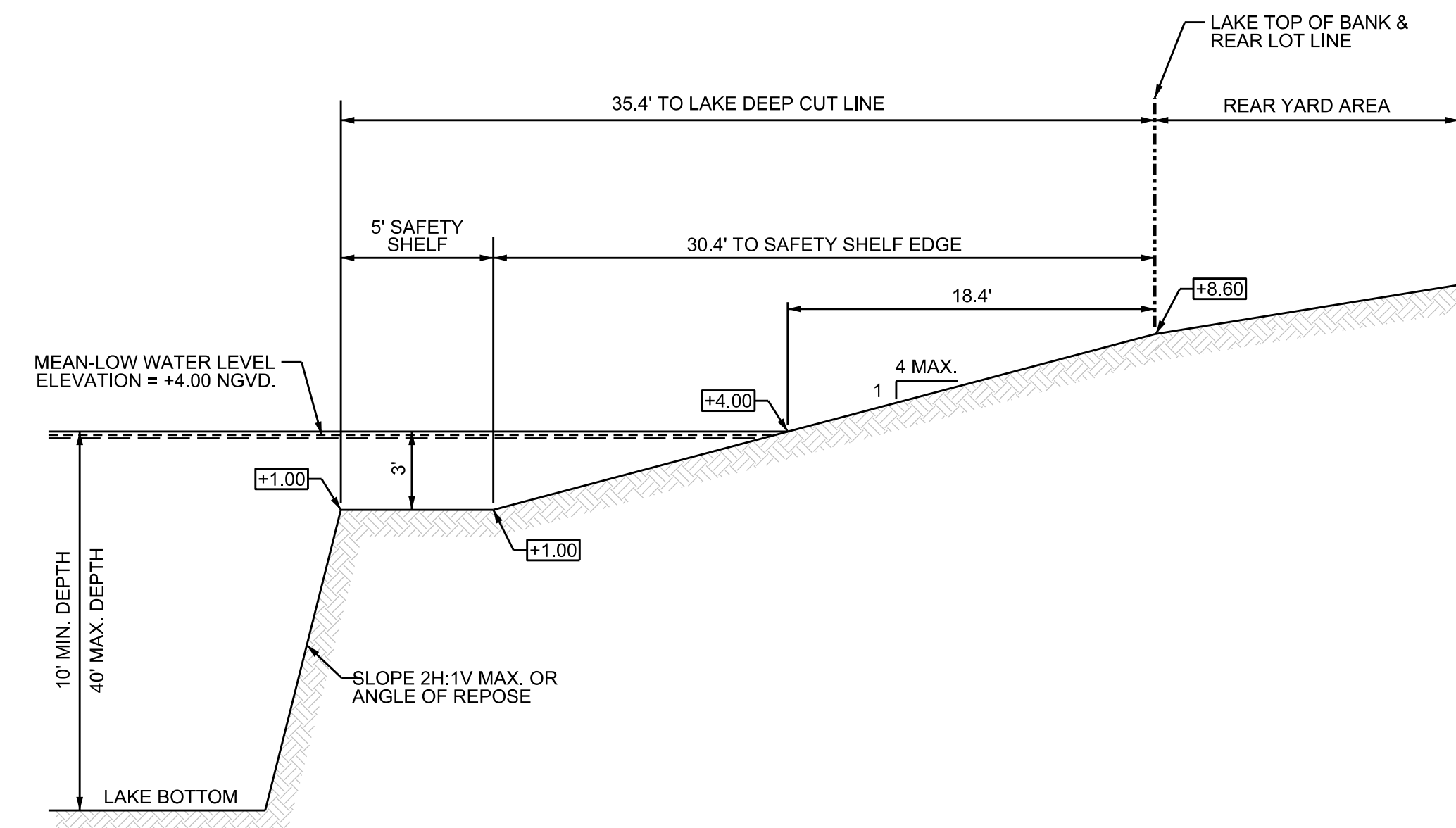
**SECTION A-A**

N.T.S.



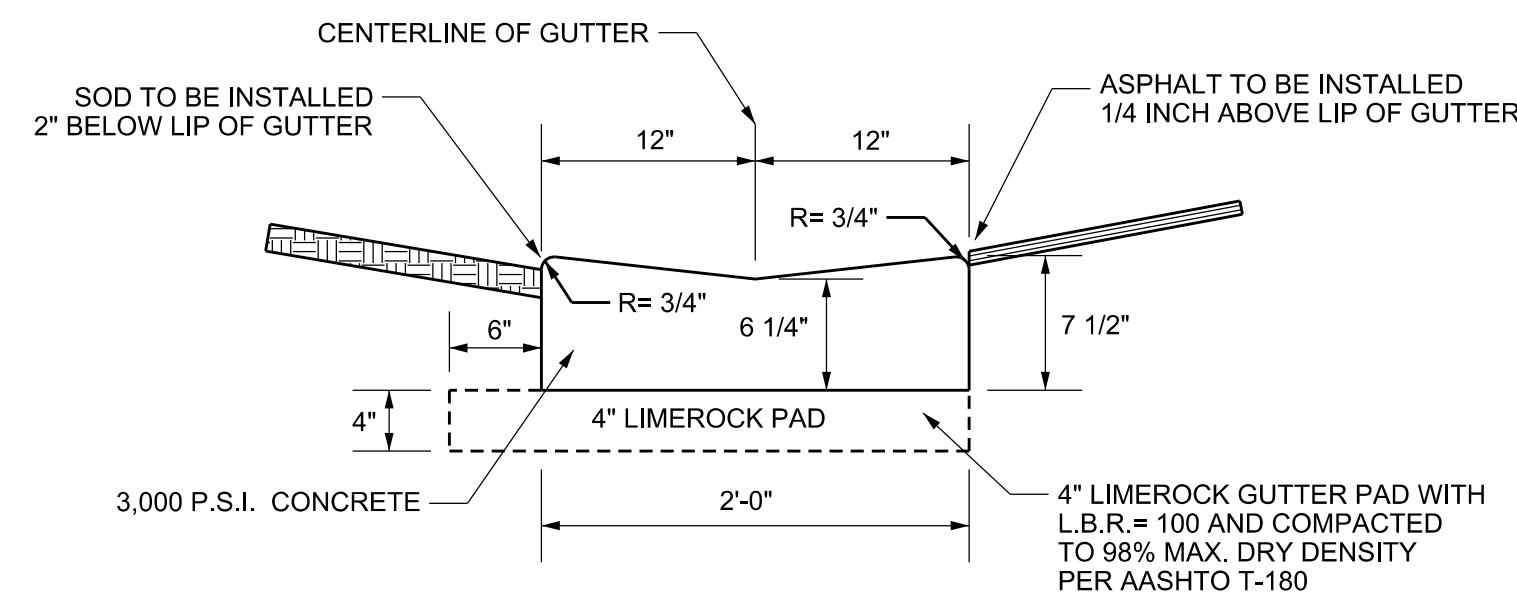
**SECTION B-B**

N.T.S.



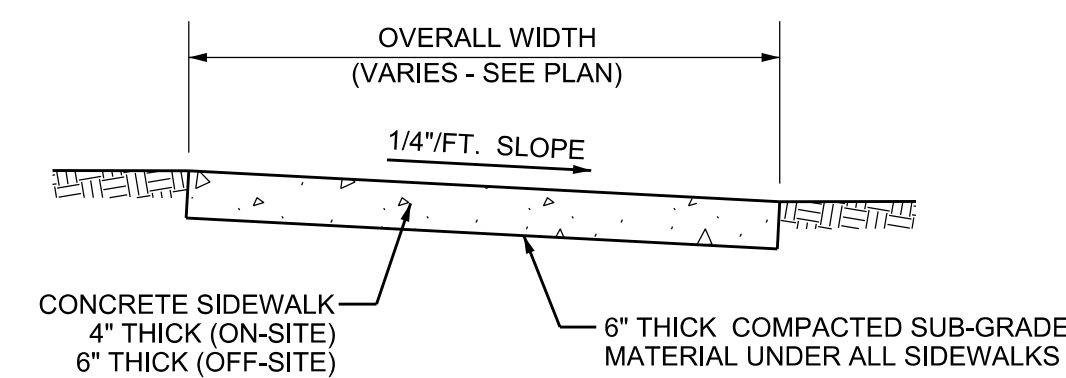
**SECTION C-C**

N.T.S.



**CONCRETE VALLEY GUTTER DETAIL**

N.T.S. - PER F.D.O.T. INDEX 300

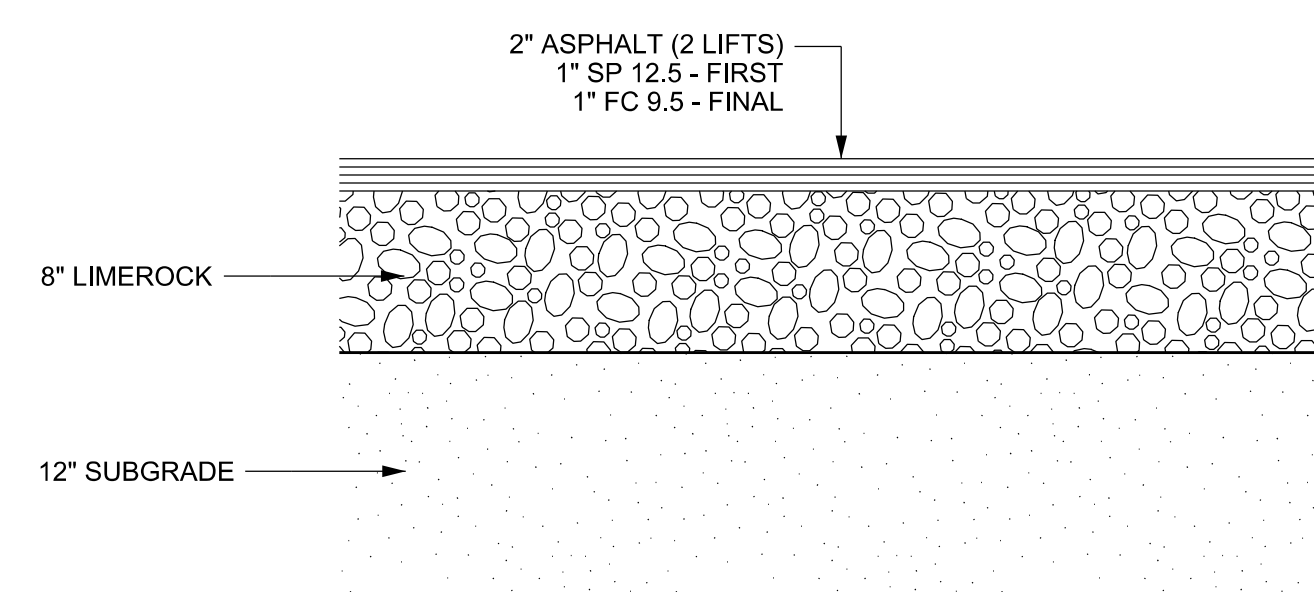


**GENERAL NOTES**

1. PROVIDE 1/8" CONSTRUCTION JOINTS AT 5' O/C, MINIMUM DEPTH 1/2".
2. PROVIDE 1/2" EXPANSION JOINTS WITH NON-RISING FILLER AT 20' O/C, TO RUN FULL DEPTH OF SLAB.
3. CONCRETE TO BE 2,500 P.S.I. IN 28 DAYS.
4. CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE, OR OTHER APPROVED METHOD.

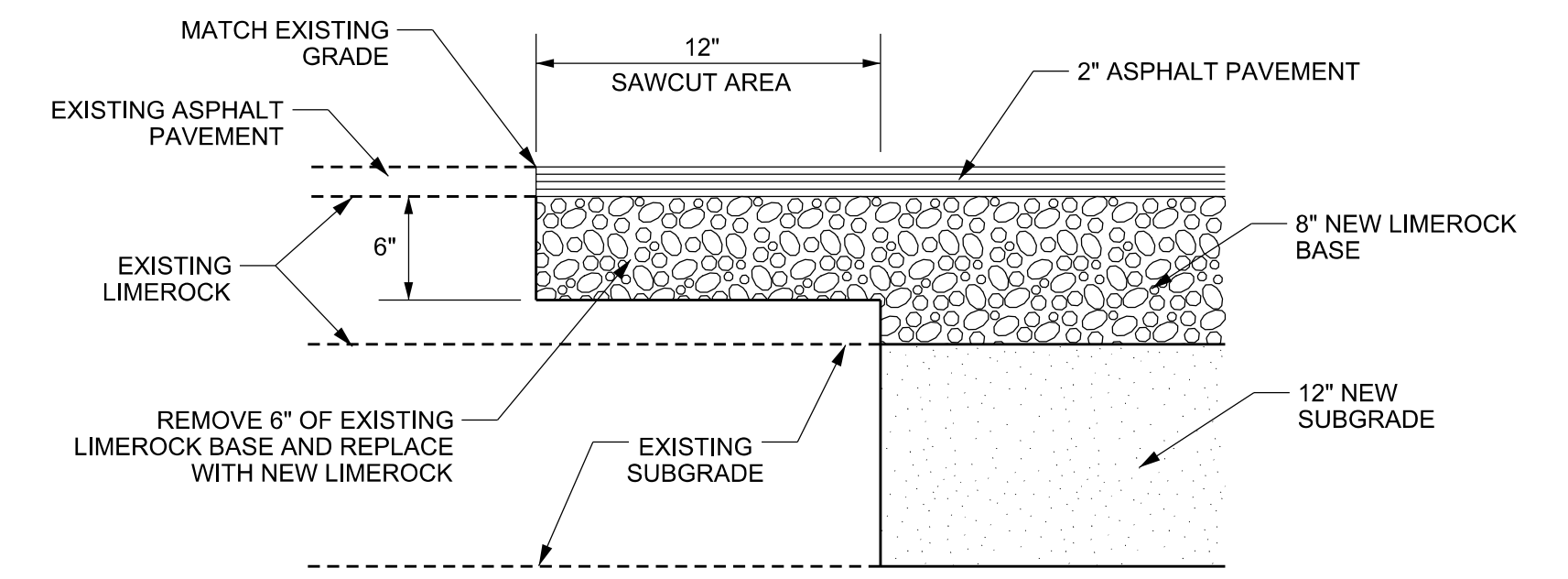
**CONCRETE SIDEWALK DETAILS**

N.T.S.



**TYPICAL ASPHALT SECTION**

N.T.S.



**TYPICAL PAVEMENT CONNECTION DETAIL**

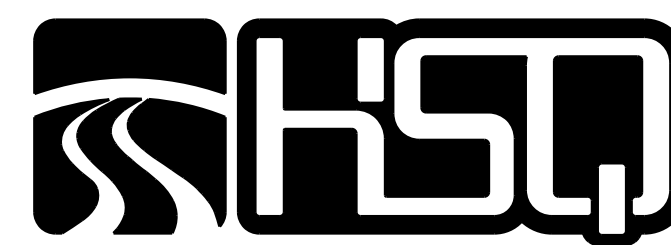
N.T.S.

**PAVEMENT NOTES**

1. THE PAVEMENT SURFACE SHALL BE ASPHALTIC CONCRETE. A TACK COAT SHALL BE APPLIED BETWEEN BOTH PAVEMENT COURSES. REFER TO SECTIONS FOR ASPHALT TYPE AND THICKNESS.
2. THE LIMEROCK BASE SHALL BE 8 INCHES THICK. REFER TO PAVEMENT SECTION ALTERNATES. THE LIMEROCK MATERIAL SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) VALUE OF 100. THE LIMEROCK MATERIAL SHALL BE COMPACTED TO A DENSITY EQUAL TO OR GREATER THAN 98% OF THE MAXIMUM DRY DENSITY PER A.A.S.H.T.O. T-180 SPECIFICATIONS.
3. THE SUBGRADE SHALL BE 12 INCHES THICK. REFER TO PAVEMENT SECTION ALTERNATES. THE SUBGRADE MATERIAL SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) VALUE OF 40. THE SUBGRADE MATERIAL SHALL BE COMPACTED TO A DENSITY EQUAL TO OR GREATER THAN 98% OF THE MAXIMUM DRY DENSITY PER A.A.S.H.T.O. T-180 SPECIFICATIONS.
4. THE LIMEROCK AND SUBGRADE COURSES SHALL NOT BE CONSTRUCTED UNTIL ALL UTILITY INSTALLATIONS UNDER PAVEMENT AREAS HAVE BEEN COMPLETED, TESTED AND ACCEPTED. ANY PAVEMENT CONSTRUCTION PRIOR TO THIS REQUIREMENT SHALL BE CONDUCTED AT THE CONTRACTOR'S OWN RISK AND ANY REQUIRED REPAIRS WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
5. THE PRIME AND TACK COATS SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (SECTIONS 300-1 THRU 300-7) SPECIFICATIONS. THE PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD OF PAVEMENT.
6. PERIODIC DENSITY TESTING SHALL BE CONDUCTED AFTER BOTH SUBGRADE AND LIMEROCK BASE COURSES HAVE BEEN COMPLETED. THE TOTAL NUMBER AND EXACT LOCATIONS OF THE TESTS SHALL BE DETERMINED BY EITHER THE ENGINEER-OF-RECORD OR GOVERNMENT INSPECTOR. THE MINIMUM AMOUNT OF TESTING SHALL BE BASED ON ONE (1) DENSITY TEST PER 5,000 SQUARE FEET OF PAVEMENT AREA.
7. THE FIRST LIFT OF THE ASPHALTIC CONCRETE PAVEMENT SHALL BE APPLIED 3/4 INCH BELOW THE LIP OF CURB, WHERE APPLICABLE. THE SECOND (FINAL) LIFT SHALL EXTEND 1/4 INCH ABOVE THE LIP OF CURB. THE FINAL LIFT OF ASPHALT SHALL NOT BE APPLIED UNTIL EITHER THE CLIENT, ENGINEER-OF-RECORD AND/OR GOVERNMENT AGENCY DETERMINES THAT SUBSTANTIAL PROJECT CONSTRUCTION HAS BEEN COMPLETED.
8. ALL EXISTING ORGANIC AND DELETERIOUS MATERIALS WITHIN THE RIGHT-OF-WAY AND ON-SITE PAVEMENT AREAS ARE TO BE REMOVED TO THEIR FULL DEPTH AND REPLACED WITH APPROVED SUITABLE MATERIAL, UNLESS AN ALTERNATIVE METHOD IS RECOMMENDED BY A CERTIFIED GEOTECHNICAL ENGINEER. THE DETERMINATION OF ORGANIC AND UNSUITABLE MATERIALS SHALL BE BASED ON F.D.O.T. STANDARDS.
9. ALL EXISTING PAVEMENT CONNECTIONS AND REPAIRS SHALL HAVE A STRAIGHT SAW-CUT EDGE PRIOR TO APPLYING NEW ASPHALT PAVEMENT.
10. ONCE FINAL LIFT OF ASPHALT HAS BEEN APPLIED, ALL PERMANENT CONTROL POINTS, REFERENCE MARKERS, VALVES, INLET AND MANHOLE RIMS SHALL BE FIELD ADJUSTED TO BE FLUSH WITH FINAL ASPHALT GRADES.

NO.	DATE	BY	REVISION

Designed by: A.Q.	Date: 2/17	Approved by: <b>IGNACIO QUEVEDO</b>	Date: 2/23/2017
Drawn by: R.W.	Date: 2/17	No 59471	
Checked by: A.Q.	Date: 2/17	Professional Engineer Number 59471	



**HSQ GROUP, INC.**  
 Engineers · Planners · Surveyors  
 5951 Northwest 173rd Drive, Suite 4  
 Miami, Florida 33015 · 786.534.3621  
 C26258 · LB7924

**THE MEADOWS**  
 PAVING AND DRAINAGE DETAILS

PROJECT NUMBER	1702-07
SHEET NUMBER	PD-5

**TITLE REVIEW NOTES:**

- All the following documents listed under SCHEDULE Bill, of Order No. 5505804, prepared by CHICAGO TITLE INSURANCE COMPANY effective date November 15, 2016 at 11:00 P.M. furnished to the undersigned to show any matter affecting the subject property.
- List of Documents:**
- Intentionally Deleted.
  - Intentionally Deleted.
  - Matters as contained on the Plat of Subdivision of Lands of The Miami Everglades Land Co., Ltd, recorded in Plat Book 2, Page 3, of the Public Records of Miami-Dade County, Florida. DOES APPLY, AS SHOWN.
  - Intentionally Deleted.
  - Intentionally Deleted.
  - Intentionally Deleted.
  - Grant of Easement in favor of Metropolitan Dade County, re: Sewer Purposes, recorded in Official Records Book 18157, Page 3925. DOES APPLY, AS SHOWN.
  - Intentionally Deleted.
  - Right-of-Way Deed to Dade County, re: Highway Purpose, recorded in Official Records Book 18826, Page 3701. DOES APPLY, AS SHOWN.
  - Right-of-Way Deed to Dade County, re: Highway Purpose, recorded in Official Records Book 18826, Page 3704. DOES APPLY, AS SHOWN.
  - Right-of-Way Deed to Dade County, re: Highway Purpose, recorded in Official Records Book 27812, Page 2888. DOES APPLY, AS SHOWN.
  - Existing unrecorded leases and all rights thereunder of the lessees and of any person claiming by, through or under the lessees, NOT REVIEWED BY SURVEYOR.
  - Survey by Ford, Armenteros & Fernandez, Inc., surveyor, dated November 25, 2015, revised January 26, 2016 and updated July 11, 2016, Job No. 15-055-0364, discloses the following matters:
    - 6 Foot chain link fence runs through proposed right-of-way along the North line of Tracts 18 and 19 property lines
    - Ten Traffic signs run over and into proposed right-of-way along the North line of Tracts 18 and 19 property lines
    - 6 Foot chain link fence runs through proposed right-of-way along the South lines of Tracts 17, 18 and 19 property lines
    - Seven Traffic signs run over and into proposed right-of-way along the South line of Tracts 18 and 19 property lines
    - 6 Foot chain link fence runs over the East line of North 1/2 of Tract 17 into right-of-way as per deed recorded in O.R. 18826, Page 3704
    - 6 Foot chain link fence runs over the North line of South 1/2 of Tract 17 into right-of-way as per deed recorded in O.R. 18826, Page 3701
    - 6 Foot chain link fence runs over and through proposed right-of-way along the South line of Tracts 17, 18 and 19 property lines
    - Four Traffic signs run over and into proposed right-of-way along the South line of Tracts 17, 18 and 19 property lines
    - Several Catch Basins run throughout property

NOTE: All recording references herein shall refer to the Public Records of Miami-Dade County, Florida, unless otherwise noted.

**ZONING RESTRICTIONS**

The subject property is currently zoned RU-1, SINGLE-FAMILY RESIDENTIAL under the Code of Miami-Dade County. Multiple uses are permitted in this zoning district as listed in Chapter 35-139 of the Code of Miami-Dade County, Florida.

**SETBACK FOR MODIFIED SINGLE-FAMILY RESIDENTIAL DISTRICT (RU-1) under Section 33-50.**

**Front:** Twenty-five (25) feet for subdivisions platted on or before March 8, 2002; Fifteen (15) feet for 50% of the lineal footage of the width of the house and twenty-five (25) for the balance; except twenty (20) feet for detached garages if platted after March 8, 2002.

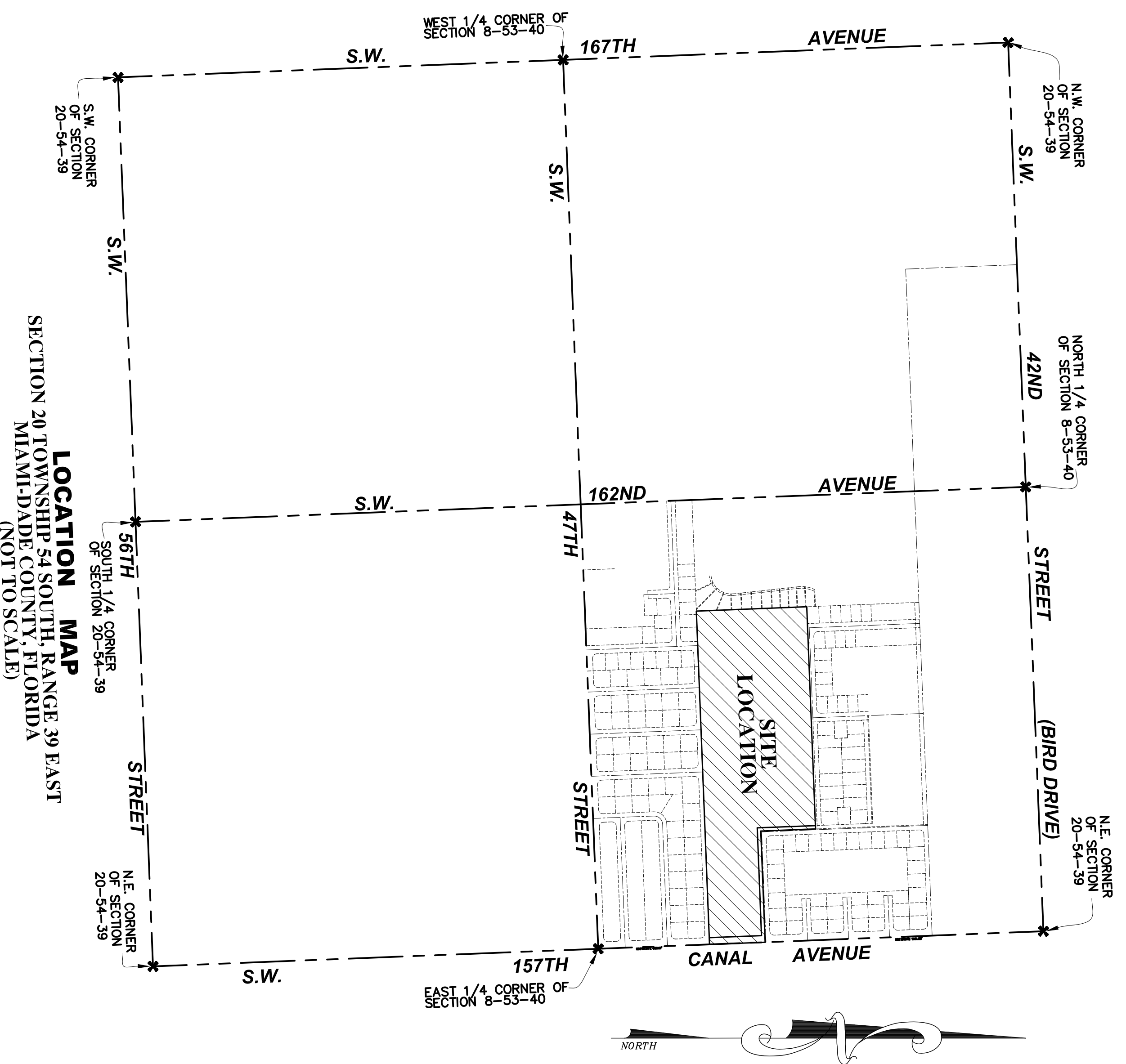
**Interior Side:** 10% of lot width; five (5) feet minimum, seven and a half (7.5) feet maximum.

**Side Street:** Fifteen (15) feet.

**Rear:** Twenty-five (25) feet for subdivisions platted on or before March 8, 2002; Fifteen (15) feet for 50% of the lineal footage of the width of the house and twenty-five (25) for the balance if platted after March 8, 2002.

**PARKING RESTRICTIONS FOR SINGLE-FAMILY RESIDENTIAL DISTRICT (RU-1) under Section 33-124**

Single-family dwellings not specifically referenced elsewhere in this section shall be provided two (2) parking spaces. Paving of said spaces shall not be required.



**LEGAL DESCRIPTION:**

**PARCEL ONE:**  
The South 1/2 of Tract 17, of MIAMI EVERGLADES LAND COMPANY SUBDIVISION SECTION 20, according to plat thereof, as recorded in Plat Book 2, Page 3 of the Public Records of Miami-Dade County, Florida.

**PARCEL TWO:**  
The North 1/2 of Tract 18, of MIAMI EVERGLADES LAND COMPANY SUBDIVISION in Section 20, Township 54 South, Range 39 East, according to plat thereof, as recorded in Plat Book 2, Page 3 of the Public Records of Miami-Dade County, Florida.

**PARCEL THREE:**  
South 1/2 of Tract 18, Section 20, Township 54 South, Range 39 East, of MIAMI EVERGLADES LAND COMPANY SUBDIVISION, in Plat Book 2, Page 3 of the Public Records of Miami-Dade County, Florida.

NOTE: All parcels are contiguous with no gaps or gaps.

**SURVEYOR'S NOTES:**

- The above captioned Property was surveyed and described based on the above Legal Description, as shown on: SCHEDULE Bill, of Order No. 5505804, prepared by CHICAGO TITLE INSURANCE COMPANY.
- There may be additional restrictions not shown on this survey that may be found in the Public Records of Miami-Dade County, Florida. Examination of TITLE INSTRUMENTS, if any affecting this property.
- Accuracy:**  
The expected use of the land, as classified in the Minimum Technical Standards (5-1-17051), is "High Risk/Residential". The minimum relative distance accuracy for this type of boundary measurement is 1:50,000. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Contact the appropriate authority prior to any design work on the herein described parcel for Building and Zoning Information.
- Underground utilities are not depicted hereon; contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be relieved as to any deviation from utilities shown hereon.
- AREA OF PROPERTY:**  
1,072,810.32 SF or 24.63 Acres +/- GROSS (COMMITMENT LEGAL) 1,043,705.57 SF or 23.98 Acres +/- NET (LESS RIGHT-OF-WAY DEDICATION)
- Ownership subject to OPINION OF TITLE
- Type of Survey: ALTA SURVEY.
- North arrow direction and bearings shown hereon are based on an assumed value of S02°15'34"E, along the East line of Section 20, Township 54 South, Range 39 East, as shown on the Section Sheet thereof of the Public Records of Miami-Dade County, Florida.
- Elevations are based on: National Geodetic Vertical Datum of 1929.
- Miami-Dade Bench Mark Used: P-4065  
Elevation: 9.85 (N.G.V.D. 1929)  
13A) Bench Mark Location: S.W. 1/4th Street — 45' South of CL. Bench mark is a PK Nail and Brass Washer in Concrete Median.
- Property Address:  
N.W. 45th STREET  
MIAMI, FL 33149  
VACANT LOT
- Flood Zone: "AH"  
Based Flood Elevation: 3.00' AS PER Community Number: 120833  
EMA Map Number: 120833/427L  
Revised Date: September 11, 2009
- This ALTA SURVEY, has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party:  
a. Lennar Homes, LLC  
b. Greenberg Trouring, P.A.  
c. Chicago Title Insurance Company
- Field Book: A-575, Pg. 68 thru 71 and 75, 76, SMD.  
Project No. 15-055-0364

**SURVEYOR'S CERTIFICATE:**

To: Lennar Homes, LLC  
Greenberg Trouring, P.A.  
Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 7(b)(1), 7(c), 8, 9, 10(d), 11(b), 13, 14, 16, 17, 18, 20(d) of Table A thereof.

The field work was completed on September 22, 2015. I further certify that this survey was prepared in accordance with the applicable provisions of Chapter 5-1-17051 (Formerly 61G1-7-6), Florida Administrative Code, and conforms to the Standards of Practice set forth by the Florida Board of Land Surveyors and Mappers pursuant to Section 472.027, Florida Statutes.

Ford, Armenteros & Fernandez, Inc., L.B.#6557  
Original Field Work Survey Date: OCTOBER 19, 2015.  
Revision 1: NOVEMBER 25, 2015 (TITLE REVIEW)  
Revision 2: JANUARY 26, 2016 (NORTH PROPERTY LINE)  
Revision 3: JULY 11, 2016 (UPDATE SURVEY / REVISED TITLE REVIEW NOTES)  
Revision 4: JULY 29, 2016 (REVISED TITLE REVIEW)  
Revision 5: AUGUST 09, 2016 (REVISED TITLE REVIEW)  
Revision 6: DECEMBER 16, 2016 (REVISED TITLE REVIEW)

By: Edwin L. Fernandez, P.S.M., for the Firm  
Professional Surveyor and Mapper  
State of Florida, Registration No. 5676

		FORD, ARMENTEROS & FERNANDEZ, INC. 1980 N.W. 34th AVENUE, 2nd FLOOR DORAL, FLORIDA 33172 PH: (305) 472-8472 FAX: (305) 472-2865 L.B. No. 6557		
MINIMUM AND SPECIFIC REQUIREMENTS FOR ALTA SURVEYS AS SET FORTH IN THE FLORIDA STATUTES, CHAPTER 472, PART I, AND THE FLORIDA ADMINISTRATIVE CODE, CHAPTER 61G1-7, PART I, AND THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS STANDARDS OF PRACTICE, CHAPTER 472.027, FLORIDA STATUTES.				
RECORD OF REVISION				
No.	DATE	DESCRIPTION	BY	APP.
1	11-25-15	TITLE REVIEW	L.D.	O.A.
2	01-26-16	NORTH PROPERTY LINE	L.D.	O.A.
3	07-11-16	UPDATE SURVEY / REVISED TITLE REVIEW NOTES	JAER	O.A.
4	07-29-16	REVISED TITLE REVIEW	E.R.	O.A.
5	08-09-16	REVISED TITLE REVIEW	JAER	O.A.
6	12-16-16	REVISED TITLE REVIEW	JAER	E.J.F.

**SCHOOL SITE AT S.W. 157TH AVENUE AND 45TH STREET**

TYPE OF PROJECT: ALTA / NSPS LAND TITLE SURVEY

SHEET NAME: LOCATION MAP, TITLE REVIEW NOTES, LEGAL DESCRIPTION AND SURVEYOR'S NOTES

CLIENT: LENNAR HOMES, LLC

CLIENT ADDRESS: 730 S.W. 107TH AVENUE, SUITE 300  
SWEETWATER, FLORIDA 33172

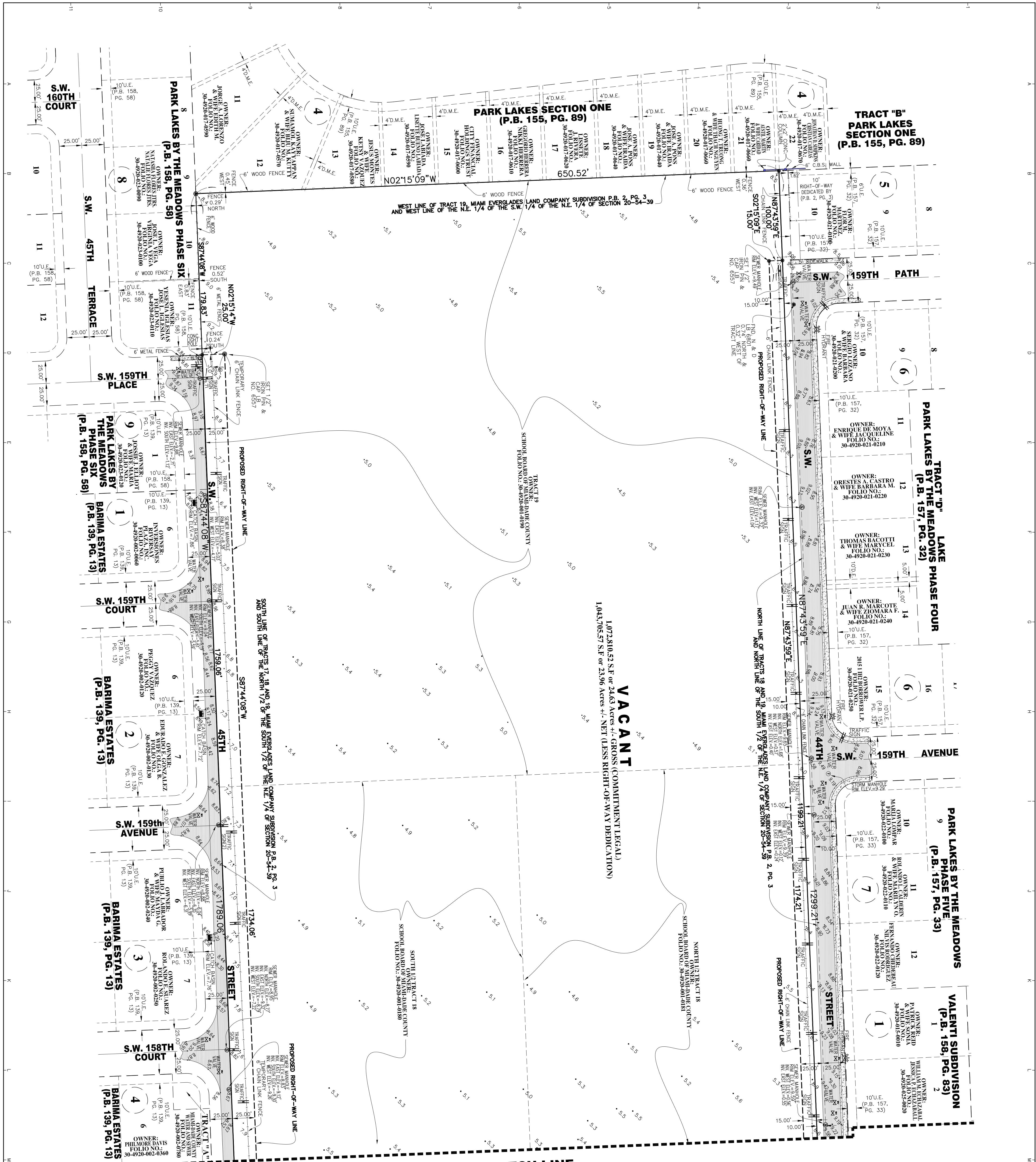
PROJECT LOCATION:  
SECTION 20, TOWNSHIP 54 SOUTH, RANGE 39 EAST  
MIAMI-DADE COUNTY, FLORIDA

DATE: OCTOBER 19, 2015

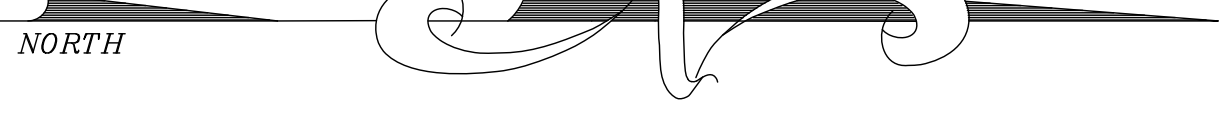
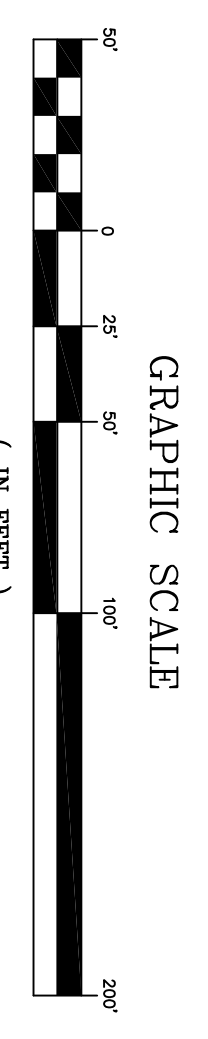
PROJECT NO.: 15-055-0364

BY: EDWIN L. FERNANDEZ, P.S.M., FOR THE FIRM  
PROFESSIONAL SURVEYOR AND MAPPER  
STATE OF FLORIDA, REGISTRATION NO. 5676

SHEET: 1 OF 3 SHEETS



MATCH LINE  
SEE SHEET 3 OF 3



**SYMBOL LEGEND**

DESCRIPTION	SYMBOL	DEFINITION
BOUNDARY	(Symbol)	BOUNDARY
RIGHT-OF-WAY	(Symbol)	RIGHT-OF-WAY
EXISTING FENCE	(Symbol)	EXISTING FENCE
PROPOSED FENCE	(Symbol)	PROPOSED FENCE
UTILITY	(Symbol)	UTILITY
CONCRETE	(Symbol)	CONCRETE
ASPHALT	(Symbol)	ASPHALT
GRAVEL	(Symbol)	GRAVEL
WOOD	(Symbol)	WOOD
IRON	(Symbol)	IRON
STEEL	(Symbol)	STEEL
ALUMINUM	(Symbol)	ALUMINUM
COPPER	(Symbol)	COPPER
ZINC	(Symbol)	ZINC
LEAD	(Symbol)	LEAD
OTHER	(Symbol)	OTHER

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**SCHOOL SITE AT S.W. 157TH AVENUE AND 45TH STREET**  
**ALTA / ACSM LAND TITLE SURVEY**

PROJECT No. **15-055-0364**  
 DATE: **OCTOBER 19, 2015**

SHEET **2** of **3**

CLIENT: **LENNAR HOMES, LLC**  
 CLIENT ADDRESS: **730 S.W. 107TH AVENUE, SUITE 300 SWEETWATER, FLORIDA 33172**

PROJECT LOCATION: **SECTION 20, TOWNSHIP 54 SOUTH, RANGE 39 EAST MAHARDE COUNTY, FLORIDA**

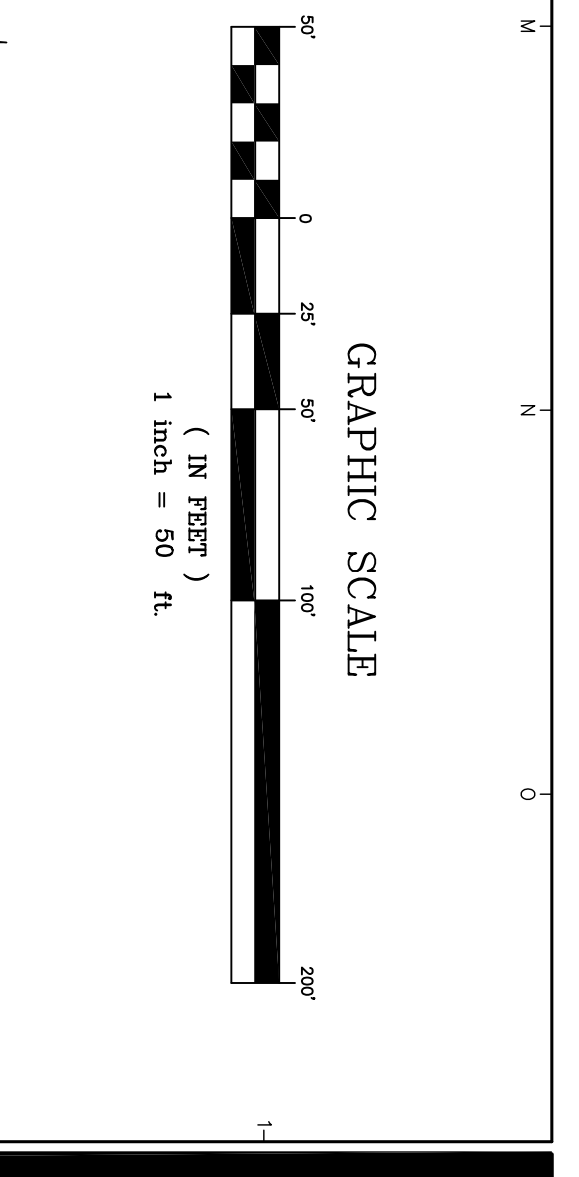
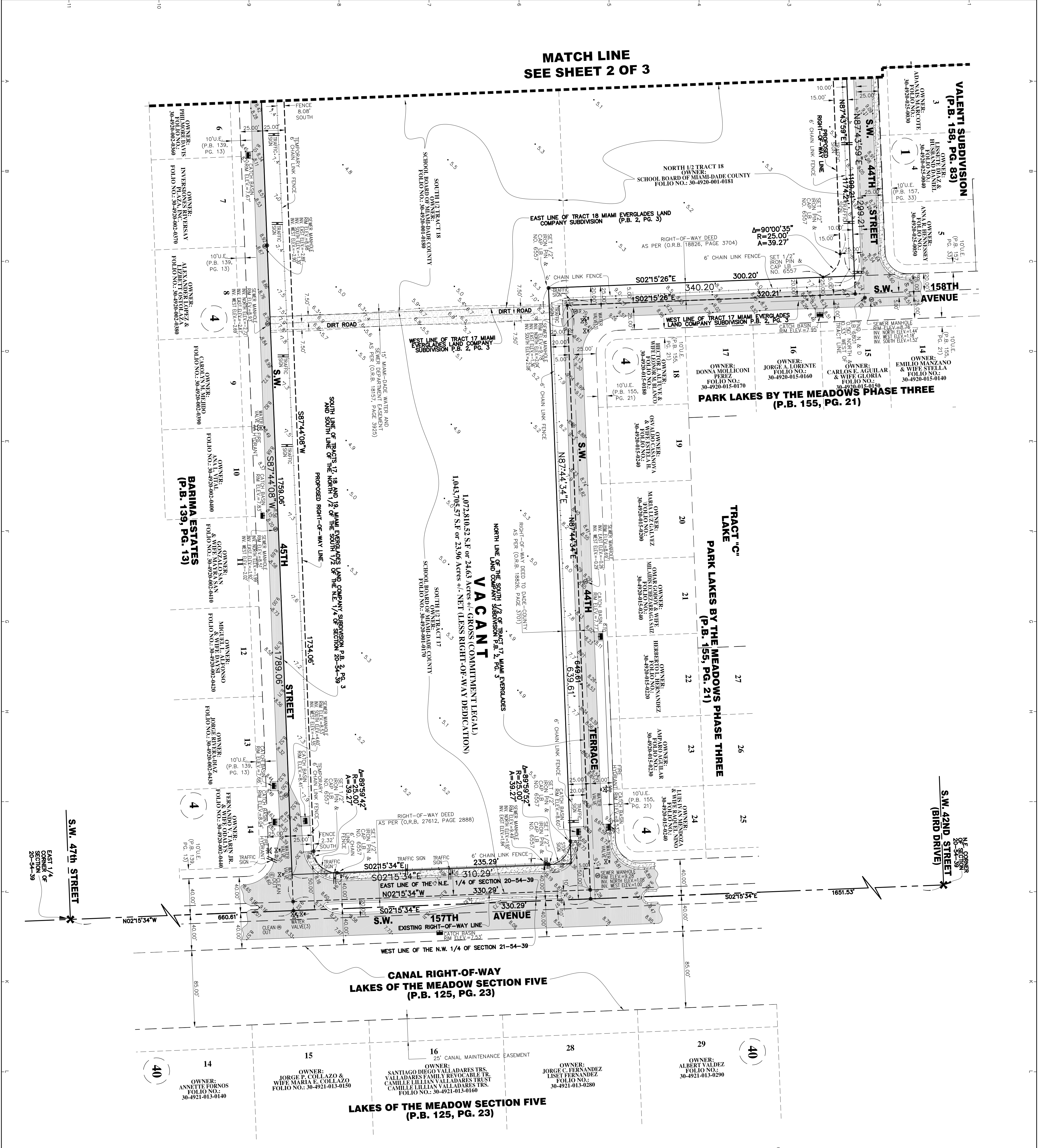
DATE: **OCTOBER 19, 2015**

PROJECT No. **15-055-0364**

SHEET **2** of **3**

**FORD ADRIANOS & FERNANDEZ INC.**  
 1980 N.W. 34th AVENUE 2nd FLOOR  
 DORAL, FLORIDA 33172  
 PH: (305) 472-8472  
 FAX: (305) 472-2885  
 E.M. 8537





DESCRIPTION	SYMBOL	DEFINITION
ALUMINUM LIGHT POLE	○	
BROADCASTING ANTENNA	○	
BOUNDARY MARKING	○	
CABLE BOX	□	
CATCH BASIN	○	
CHAIN LINK FENCE	—X—	
CLEAR	○	
CLEAN OUT VALVE	○	
CONCRETE BLOCK STRUCTURE	□	
CONCRETE LIGHT POLE	○	
CONTROL VALVE	○	
CURB	—	
DRAINAGE MANHOLE	○	
DRAIN LINE	—	
ELECTRIC METER	○	
ELECTRIC WIRE OVERHEAD	—	
ELEVATION (EXISTING)	▽	
ELEVATION (PROPOSED)	▽	
FIRE MAIN VALVE	○	
FIRE MAIN VALVE (UNDER NEW AND OLD CONCRETE)	○	
FORD	○	
GRADE	—	
GRASS	○	
GRASSY AREA	○	
GUARD POST	○	
IRON PIPE	—	
LIMITED ACCESS POINT OF WAY	—	
MAN SIGN VALVE	○	
MANHOLE	○	
MATERIAL	○	
NAIL AND DISC	○	
ON LINE	○	
PATCH	○	
PERMANENT REFERENCE POINT	○	
REBAR FOR CONCRETE	○	
REBAR FOR CONCRETE	○	
REBAR FOR CONCRETE	○	
SECTION MARK	○	
SEWER MANHOLE	○	
SPRINKLER VALVE	○	
SPRINKLER VALVE AND NAIL	○	
SURFACE	○	
SURFACE CONTROL VALVE	○	
SURVEY POINT	○	
TEMPERATURE SENSING DEVICE	○	
TEMPERATURE SENSING DEVICE	○	
TEMPERATURE SENSING DEVICE	○	
TRAP	○	
TRAP SIGN	○	
TRAP SIGN BOX	○	
TRAP SIGN BOX	○	
TRAP SIGN BOX	○	
WATER METER	○	
WATER VALVE	○	
WOOD POWER POLE	○	
WOOD POWER POLE	○	
WOOD POWER POLE	○	
WOOD POWER POLE	○	

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**SCHOOL SITE AT S.W. 157TH AVENUE AND 45TH STREET**

ALTA / ACSM LAND TITLE SURVEY

SKETCH AND LEGEND

CLIENT: LENNAR HOMES, LLC

CLIENT ADDRESS: 730 S.W. 107TH AVENUE, SUITE 300  
SWEETWATER, FLORIDA 33172

PROJECT LOCATION: SECTION 20, TOWNSHIP 54 SOUTH, RANGE 39 EAST  
MIAMI-DADE COUNTY, FLORIDA

DRAWN BY: L.D. JÜLKER

DATE: OCTOBER 19, 2015

PROJECT NO: 15-055-0364

SHEET: 3 OF 3 SHEETS